

CITY OF WESTMINSTER			
PLANNING APPLICATIONS COMMITTEE	Date 10 November 2015	Classification For General Release	
Report of Director of Planning		Wards involved Marylebone High Street	
Subject of Report	43 Weymouth Mews, London, W1G 7EH		
Proposal	Excavation to lower existing basement floor level, alterations within the rear lightwell to provide a new access stair and full height service riser, use of the first and second floors as two residential units (Class C3), insertion of three rooflights in the existing roof, and associated internal and external alterations.		
Agent	Howard de Walden Management Ltd		
On behalf of	Howard de Walden Estates Ltd		
Registered Number	15/02936/FULL 15/02937/LBC	TP / PP No	TP/25694
Date of Application	02.04.2015	Date amended/ completed	02.04.2015
Category of Application	Minor		
Historic Building Grade	Grade II Listed Building		
Conservation Area	Harley Street		
Development Plan Context - London Plan July 2011 - Westminster's City Plan: Strategic Policies 2013 - Unitary Development Plan (UDP) January 2007	Within London Plan Central Activities Zone Outside Central Activities Zone		
Stress Area	Outside Stress Area		
Current Licensing Position	Not Applicable		

1. RECOMMENDATION

1. Grant conditional permission and conditional listed building consent.
2. Agree the reasons for granting listed building consent as set out in Informative 1 of the draft decision letter.





43 WEYMOUTH MEWS, W1

2. SUMMARY

The application site comprises a Grade II listed building situated within the Harley Street Conservation Area. The property is a public house (Class A4). The building comprises lower ground, ground and two upper floors. Planning permission and listed building consent are sought for works associated with the conversion of the upper floors to two residential units and internal alterations to rationalise the use of the commercial floor area within the public house.

The key issues for consideration are:

- The conversion of public house floorspace to provide new residential accommodation.
- The impact of the proposals upon the amenities of neighbouring residents.
- The impact of the works upon both the special interest of the listed building and the character and appearance of the conservation area.

The proposals are considered acceptable in land use, amenity, design, conservation and listed building terms and comply with the policies set out in the Unitary Development Plan (UDP) and Westminster's City Plan: Strategic Policies (the City Plan)..

3. CONSULTATIONS

MARYLEBONE ASSOCIATION

Objection on the following grounds:

- Lack of acoustic report.
- It is unclear whether the reconfiguration of the rear stairs will impact on No. 41 Weymouth Mews.
- It is not clear whether the service riser will impact on the neighbouring window.
- The removal of the external amenity space associated with the public house will increase the numbers of customers outside on Weymouth Mews and increase noise for neighbouring residents.
- It is unclear whether the addition of a new rear stairwell will impact on the privacy of the neighbouring property given the location of its window.

ENGLISH HERITAGE

Flexible authorisation received 20 April 2015.

DISTRICT SURVEYOR

No objection.

HIGHWAYS PLANNING MANAGER

Object to introduction of new open grate on the highway, and insufficient waste and cycle parking.

ENVIRONMENTAL HEALTH

No objection subject to the imposition of relevant noise conditions.

ANCIENT MONUMENTS SOCIETY

No response to date.

COUNCIL FOR BRITISH ARCHAEOLOGY

No response to date.

GEORGIAN GROUP

No response to date.

VICTORIAN SOCIETY

No response to date.

TWENTIETH CENTURY SOCIETY

No response to date..

SOCIETY FOR THE PROTECTION OF ANCIENT BUILDINGS

No response to date.

ADJOINING OWNERS/OCCUPIERS AND OTHER REPRESENTATIONS

No. Consulted: 40; Total No. of Replies: 4

Three letters of objection and one neutral comment received. Objections were on some or all of the following grounds:

Amenity

- At present the soundproofing of the party wall with the public house is inadequate and any proposal which increases the number of patrons will create more internal noise transmission.
- At present the noise from bottles and deliveries, the pub's sound system, live bands, and the manager's personal music after closing hours cause harm to residential amenity. Any redevelopment must improve soundproofing.
- Concerns that residents accessing the new residential properties on the upper floors, near a neighbouring residential window, may cause noise at unsociable hours.
- The mechanics installed for the pavement delivery hatch should not be noisier than the current system.
- The pub's patrons already cause noise and litter problems. The proposals resulting in the loss of the external area and increase of tradable space in the basement will exacerbate these problems.

Highways

- Increased number of patrons on the road is dangerous and causes nuisance

Other

- Noise and disturbance during construction works.
- It is unclear how long the construction works will take.
- The proposals will affect the value of neighbouring properties.
- The pub is of local social importance.
- Symptomatic of wider trend of homogeneity and loss of character in retail and entertainment premises in Marylebone.

4. BACKGROUND INFORMATION**4.1 The Application Site**

No. 43 Weymouth Mews is a Grade II listed property located on the western side of the mews and comprises of lower ground, ground and two upper floors. The lawful use of the premises is as a public house (Class A4) throughout.

The site is located outside the Core Central Activities Zone, but is within the Harley Street Conservation Area.

4.2 Relevant History

No relevant planning history.

5. THE PROPOSAL

Planning permission and listed building consent are sought for the use of the first and second floors as two flats (Class C3) and internal alterations at basement and ground floor levels to rationalise the use of the public house floorspace. The works at basement and ground floors are intended to allow more efficient use of public house floorspace and include excavation works to lower the existing basement floor level and the installation of a service riser in the rear lightwell and plant within a louvred enclosure at basement level.

The new residential units on the upper floors will be accessed from the rear of Weymouth Mews via a new stair up to first floor level built within the rear lightwell and a window will be replaced by a new door. Three rooflights are also proposed in the front roof slope to provide improved light levels for the residential accommodation.

The basement and ground floor will remain in use as a public house (Class A4). The public house's licensed hours are 10.00-23.30 Monday to Saturday and 12.00-23.00 on Sundays. These hours are unchanged by the application.

6. DETAILED CONSIDERATIONS

6.1 Land Use

Policy SS8 of the UDP relates to shops and services outside the district and local centres (outside the Central Activities Zone). The policy application states that traditional public houses are generally considered to add to the character and function of a locality and their loss will only be acceptable if they have been vacant and marketed for at least 18 months without success.

The proposal does not result in the loss of a public house, however, as a result of the conversion of the first and second floors to provide 1 x 1 bed and 1 x 2 bed units, it does result in a net loss of 139m² of public house floorspace. This is because, at present, whilst the upper floors provide residential accommodation this is considered to be ancillary to the public house use as the accommodation is not self-contained and is inhabited by the pub's staff. For this reason, the whole property is a single planning unit which falls within the public house use class (Class A4).

However, as neither of the first or second floors are in use as tradable floorspace, it is not considered that the loss of this ancillary residential accommodation will jeopardise the long term viability of the public house. Indeed, the proposals involve a reconfiguration of the public house's tradable area which involves the use of part of the basement, which at present is primarily used for storage purposes, as additional bar area. The objection received on the grounds that the proposal would result in the loss of a traditional local pub is therefore not sustainable.

The conversion of the upper floors would provide 1 x 1 bed and 1 x 2 bed residential units. City Plan Policy S14 states that residential use is the priority across Westminster, except where specifically stated. Policy H5 of the UDP seeks a range of housing sizes, including family accommodation and Policy S14 seeks to optimise the number of residential units on development sites. Whilst no three bed units are provided, given the constrained nature of this listed property the proposed mix of units is considered to be acceptable.

The units, which measure 66m² and 63m², exceed the Mayor of London's internal space standards, are dual aspect and are considered to provide a good standard of residential accommodation.

6.2 Townscape and Design

The Dover Castle is Grade II listed and located within the Harley Street Conservation Area. It is an attractive two storey mews pub, with timber shopfront, stucco front elevation and roof hidden behind a moulded parapet. Internally, it retains some unaltered pub fittings to the ground floor, including sloping bar and panelled partitions.

The building is significant as a good example of an early 19th century mews pub. The attractive pub interior at ground floor and the exterior make the greatest contribution to its special interest. The upper floors are relatively simply detailed and make less contribution to the building's significance. The pub also makes a positive contribution to the character and appearance of the conservation area.

The main historic building and design issues are the impact of the proposals on the special architectural and historic interest (significance) of the building, as well as the impact on the character and appearance of the Harley Street Conservation Area.

Internal Alterations

Internally, the most significant area, which is consequently most sensitive to change, is the panelled ground floor bar. The majority of the bar area is unaffected by the proposals, with all original fabric retained. New toilet facilities will be created in an area which has been altered to the rear. In this location, a later 1950s staircase to the basement will be removed. The existing bar counter will be retained and a small new section of bar to match inserted behind the existing bar counter to segregate the public from the bar. Works will have little impact on historic fabric or the appearance of the bar area and proposals at this level are considered acceptable subject to detail, which will be conditioned.

Within the basement, it is proposed to lower floor levels slightly to make this a useable public bar and kitchen area and some new openings will be created to provide access. The basement has been altered and there appears to be no remaining historic fabric of interest. As such, these works are considered acceptable, subject to conditions to ensure appropriate detailing. The vaults were not accessible and further detail of works to these will be conditioned.

The upper floors are relatively simply detailed. Nonetheless, there is some architectural detail of interest including the original staircase and attractive fireplaces. The separation of the bar from the new residential units above would entail a number of contentious alterations, blocking access between ground and first floors. The staircase would be closed off, with the door fixed shut at ground floor level and new partitions inserted at the top of the first flight leading from the ground floor. However, the staircase will be retained in its entirety in situ, with the stair between first and second floor left entirely unaltered. These alterations are also reversible. This is therefore considered acceptable and further detail of this will be requested by condition to ensure the final appearance is suitable.

Additionally, a number of changes to plan form are proposed with the creation of new openings and ensuite facilities and widening the room in the loft. However, where openings are being created, nibs and downstands will be retained to ensure the original plan form can still be read and fireplaces, skirtings, architraves and original doors are to be retained and replicated where new partitions are inserted. Works to the floors are also required to provide acoustic separation between residential units and the bar. This will slightly raise the floor level. Details have been provided of this and this can be achieved while retaining original fabric.

Given the lesser significance of these spaces, on balance, the internal changes are considered acceptable in historic building terms, as the most significant area of the building at ground floor will remain largely unaltered, and the main features of interest to upper floors are to be retained.

External Alterations

The majority of external alterations are to the rear. The rear elevation has undergone a number of unsympathetic alterations with various pipes and ducts installed. A simply detailed access staircase would be set against the back wall of what is currently a small courtyard garden. This leads to a new timber door which would be created in place of a window at first floor level of the pub. All other windows and doors are to be retained unaltered and these works are considered acceptable. It was previously proposed to alter the arched entrance from the mews leading to the rear of the pub but it is now proposed to retain this and the objections from the Marylebone Association regarding alterations to these stairs no longer apply. Existing air conditioning units, ducts and pipework on the rear elevation would be removed and a new full height service riser is proposed. Although the design of this on the plans is not clear, the applicant has indicated this will be brick clad and will terminate through the existing chimney. This will be conditioned. These works are considered acceptable and should help to rationalise the existing clutter to the rear elevation.

The only other external alteration is the installation of rooflights to the front roof slope. The rooflights will not be visible from the street and works to the rear are not visible from within the mews. As such, the proposals will have little impact on the character and appearance of the Harley Street Conservation Area.

6.3 Amenity (Daylight/Sunlight/Overlooking)

6.3.1 New stair, extract duct and residential entrance

The Marylebone Association raise objection as the new residential staircase passes close to a neighbouring residential window, and a nearby residential occupier objects as they consider that establishing a new residential entrance to the rear of the public house will cause additional noise pollution, potentially late at night. However, the only neighbouring residential window within the lightwell where the new staircase is to be located is currently painted over and therefore neighbouring residents will suffer no loss of privacy. In addition, it is not considered that a new residential entrance, which is not intrinsically noisy, and that will provide access to only two flats will cause a demonstrable noise nuisance to neighbouring properties in the mews. The Marylebone Association also object to the location of the full height extract duct, however, this has been relocated and is no longer adjacent to the neighbouring residential window at No. 41.

6.3.2 Internal alterations to the public house

Objections have been received from neighbouring occupiers on the grounds that they suffer from noise transmission through the pub's party walls and that this will be exacerbated by the increase in tradeable floor area. It is also contended that the loss of the use of the small external lightwell area for patrons of the public house will increase the number of patrons congregating on the public highway thus causing additional disturbance and highway disruption.

The property is a long established original mid 19th century public house which is not controlled by planning conditions. The entire building is in public house use and there are no planning conditions to restrict the number of patrons within the property. The basement is currently used for storage associated with the pub use. Whilst the proposals involve

accommodating a kitchen, toilets and new bar area within the basement, this does not result in a change of use and planning permission is not required for this part of the proposals. Overall, the amount of public house floor area is reduced and whilst the concerns of neighbouring occupiers are noted, it is not considered that the application could be refused on the grounds of noise transmission.

With regard to the loss of the existing courtyard area, whilst this is unfortunate, the courtyard space is very small and does not accommodate a large number of customers. For this reason it is not considered that the loss of the courtyard would have a demonstrable impact on the level of disturbance from patrons congregating on the highway.

Another objection raises the issue of noise from alterations to an existing delivery hatch. The applicant has advised that the delivery hatch will remain as existing.

6.3.3 New residential units

With regards to the amenity of future occupiers of the residential units on the upper floors, the applicant is proposing acoustic insulation to be installed over the existing timber floor. This installation, combined with the imposition of conditions which require the submission of a supplementary noise report which demonstrates that satisfactory internal noise levels can be achieved, is considered sufficient to safeguard the amenity of future occupiers.

6.4 Transportation/Servicing

The applicant originally proposed to install a new grille within the public highway. The City Council raised an in principle objection to this element on highways grounds as it would involve the loss of a solid surface and cause harm to the pedestrian environment. The applicant has since removed the grille from the proposals, and the existing delivery hatch will remain.

It is not considered that the internal alterations to the existing public house will have any material impact on the highways and servicing requirements for the premises.

No residential car parking is provided. UDP Policy TRANS 23 requires sufficient off-street parking to be provided in new residential schemes to ensure that parking pressure in surrounding streets is not increased to 'stress levels'. The UDP parking standards normally require one parking space per residential flat. 'Stress levels' are considered to have occurred where the occupancy of on-street legal parking bays has exceeded 80% within a 200m radius of the development site. The occupancy of on-street parking during the day is currently 80.2%, although this reduces to 73.9% at night when Single Yellow Line kerbspace is available. The Highways Planning Manager has objected to the scheme on the basis that daytime stress levels have been reached and that it would therefore be inappropriate to allow further demand for on-street spaces. The potential increased pressure for on street parking needs to be balanced against the land use aim to increase the housing stock. In this case, it is not considered that permission should be withheld for a single new unit despite the fact that there is no off street car parking.

No residential cycle parking is proposed. Council policy requires one secure cycle parking space for each new residential unit. However, on this occasion, it is considered that due to the constraints of this Grade II listed building the lack of cycle parking is acceptable.

6.5 Economic Considerations

Any economic benefits generated by the scheme are welcome.

6.6 Access

As existing, level access will be provided to the ground floor of the premises.

6.7 Other UDP/Westminster Policy Considerations

6.7.1 Plant

The proposal involves installation of a full height service riser with extract duct and new kitchen plant within a louvred area at basement level. This aspect of the scheme has been considered in the context of Policies ENV6 and ENV7 of the UDP and S32 of the City Plan. These policies seek to protect nearby occupiers of noise sensitive properties and the area generally from excessive noise and disturbance. The Marylebone Association object to the lack of an acoustic report, however, a full noise report has been submitted.

The area has been identified in the applicant's acoustic report as having background noise levels which are above WHO guideline levels during the daytime and nighttime. To accord with Policy ENV7 of the UDP the noise levels emitted by the plant will have to be 10dB below background at the nearest noise sensitive windows. The applicant is yet to select the specific plant to be installed but it will be located within a louvred enclosure at rear basement level. The nearest residential occupiers adjoin the application property's northern and southern elevations. In order to ensure that the plant installation meets the design noise criteria, a condition is proposed requiring an acoustic report supplying full details of the plant installation and associated noise attenuation measures.

6.7.2 Refuse storage

The new residential units are provided with separate recycling and general waste storage within the kitchen units.

The waste and recycling storage for the public house are located within the front basement vaults and this is considered to be acceptable.

6.8 London Plan

The proposal does not raise strategic issues and does not have significant implications for the London Plan.

6.9 National Policy/Guidance Considerations

Central Government's National Planning Policy Framework (NPPF) came into effect on 27 March 2012. It sets out the Government's planning policies and how they are expected to be applied. The NPPF has replaced almost all of the Government's existing published planning policy statements/guidance as well as the circulars on planning obligations and strategic planning in London. It is a material consideration in determining planning applications.

Until 27 March 2013, the City Council was able to give full weight to relevant policies in the Core Strategy and London Plan, even if there was a limited degree of conflict with the framework. The City Council is now required to give due weight to relevant policies in existing plans "according to their degree of consistency" with the NPPF. Westminster's City Plan: Strategic Policies was adopted by Full Council on 13 November 2013 and is fully compliant with the NPPF. For the UDP, due weight should be given to relevant policies according to their degree of consistency with the NPPF (the closer the policies in the plan to the NPPF, the greater the weight that may be given).

The UDP policies referred to in the consideration of these applications are considered to be consistent with the NPPF unless stated otherwise.

6.10 Planning Obligations

The application does not trigger a requirement for planning obligations.

6.11 Environmental Assessment including Sustainability and Biodiversity Issues

The scale of the proposed development does not require the submission of an Environmental Impact Assessment.

6.12 Other Issues

None relevant.

6.13 Conclusion

The proposals are considered acceptable in land use, amenity and design and conservation terms and accord with the relevant UDP and City Plan policies. The applications are therefore recommended for conditional approval.

BACKGROUND PAPERS

1. Application forms
2. Memorandum from Environmental Heath dated 12 April 2015 and 29 October 2015
3. Memorandum from Highways Planning Manager dated 05 June 2015
4. Memorandum from District Surveyor dated 16 October 2015
5. Letter from Historic England dated 20 April 2015
6. Letter from Marylebone Association dated 06 May 2015
7. Letter from occupier of 44 Weymouth Mews dated 28 April 2015
8. Letters from the occupiers of 41 Weymouth Mews dated 29 April 2015 and 05 May 2015
9. Letter from occupier of 16 Winsley Court, 37 Portland Place dated 09 May 2015

IF YOU HAVE ANY QUERIES ABOUT THIS REPORT OR WISH TO INSPECT ANY OF THE BACKGROUND PAPERS PLEASE CONTACT JOSEPHINE PALMER ON 020 7641 2723 OR BY E-MAIL – jpalme@westminster.gov.uk

DRAFT DECISION LETTER

Address: 43 Weymouth Mews, London, W1G 7EH

Proposal: Excavation to lower existing basement floor level, alterations within the rear lightwell to provide a new access stair and full height service riser, use of the first and second floors as two residential units (Class C3), insertion of three rooflights in the existing roof, and associated internal and external alterations.

Plan Nos: (00)_P_000/P02; (00)_P_110/P02; (00)_P_111/P02; (00)_P_210/P02; (00)_P_211/P02; (00)_P_310/P02; (12)_P_100/P02; (12)_P_101/P02; (12)_P_200/P02; (12)_P_201/P02 (12)_P_300/P02; (40)_P_100/P02; (40)_P_101/P02; (40)_P_102/P02; Plant Noise Assessment 6716/PNA; Structural Methodology Statement March 2015

Case Officer: Billy Pattison

Direct Tel. No. 020 7641 3267

Recommended Condition(s) and Reason(s):

- 1 The development hereby permitted shall be carried out in accordance with the drawings and other documents listed on this decision letter, and any drawings approved subsequently by the City Council as local planning authority pursuant to any conditions on this decision letter.

Reason:

For the avoidance of doubt and in the interests of proper planning.

- 2 You must carry out any building work which can be heard at the boundary of the site only:

- * between 08.00 and 18.00 Monday to Friday;
- * between 08.00 and 13.00 on Saturday; and
- * not at all on Sundays, bank holidays and public holidays.

Noisy work must not take place outside these hours. (C11AA)

Reason:

To protect the environment of neighbouring residents. This is as set out in S29 and S32 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 6 of our Unitary Development Plan that we adopted in January 2007. (R11AC)

- 3 All new work to the outside of the building must match existing original work in terms of the choice of materials, method of construction and finished appearance. This applies unless differences are shown on the drawings we have approved or are required by conditions to this permission. (C26AA)

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Harley Street Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

- 4 The design and structure of the development shall be of such a standard that it will protect residents within the same building or in adjoining buildings from noise and vibration from the development, so that they are not exposed to noise levels indoors of more than 35 dB LAeq 16 hrs daytime and of more than 30 dB LAeq 8 hrs in bedrooms at night.

Reason:

In order to ensure that the design, structure and acoustic insulation of the development will provide sufficient protection for residents of the same building from noise and vibration from elsewhere in the development in accordance with S32 of Westminster's City Plan: Strategic Policies (adopted November 2013) and ENV6 of the Unitary Development Plan adopted in January 2007.

- 5 You must apply to us for approval of details of how the first floor flat will be insulated to reduce noise passing between it and the ground floor public house below. You must not start work until we have approved what you have sent us. You must then carry out the work according to the approved details. Once the work has been completed, and before the public house re-opens to customers, you must submit a supplementary acoustic report which has been produced by carrying out a noise propagation test, and which demonstrates that compliance with planning condition 4 can be achieved.

Reason:

In order to ensure that the design, structure and acoustic insulation of the development will provide sufficient protection for residents of the same building from noise and vibration from elsewhere in the development in accordance with S32 of Westminster's City Plan: Strategic Policies (adopted November 2013) and ENV6 of the Unitary Development Plan adopted in January 2007.

- 6 No vibration shall be transmitted to adjoining or other premises and structures through the building structure and fabric of this development as to cause a vibration dose value of greater than 0.4m/s (1.75) 16 hour day-time nor 0.26 m/s (1.75) 8 hour night-time as defined by BS 6472 (2008) in any part of a residential and other noise sensitive property.

Reason:

As set out in ENV6 (2) and (6) of our Unitary Development Plan that we adopted in January 2007, to ensure that the development is designed to prevent structural transmission of noise or vibration.

- 7 (1) Where noise emitted from the proposed plant and machinery will not contain tones or will not be intermittent, the 'A' weighted sound pressure level from the plant and machinery (including non-emergency auxiliary plant and generators) hereby permitted, when operating at its noisiest, shall not at any time exceed a value of 10 dB below the minimum external background noise, at a point 1 metre outside any window of any residential and other noise sensitive property, unless and until a fixed maximum noise level is approved by the City Council. The background level should be expressed in terms of the lowest LA90, 15 mins during the proposed hours of operation. The plant-specific noise level should be expressed as LAeqTm, and shall be representative of the plant operating at its maximum.

(2) Where noise emitted from the proposed plant and machinery will contain tones or will be intermittent, the 'A' weighted sound pressure level from the plant and machinery (including non-emergency auxiliary plant and generators) hereby permitted, when operating at its

noisiest, shall not at any time exceed a value of 15 dB below the minimum external background noise, at a point 1 metre outside any window of any residential and other noise sensitive property, unless and until a fixed maximum noise level is approved by the City Council. The background level should be expressed in terms of the lowest LA90, 15 mins during the proposed hours of operation. The plant-specific noise level should be expressed as LAeqTm, and shall be representative of the plant operating at its maximum.

(3) Following installation of the plant and equipment, you may apply in writing to the City Council for a fixed maximum noise level to be approved. This is to be done by submitting a further noise report confirming previous details and subsequent measurement data of the installed plant, including a proposed fixed noise level for approval by the City Council. Your submission of a noise report must include:

- (a) A schedule of all plant and equipment that formed part of this application;
- (b) Locations of the plant and machinery and associated: ducting; attenuation and damping equipment;
- (c) Manufacturer specifications of sound emissions in octave or third octave detail;
- (d) The location of most affected noise sensitive receptor location and the most affected window of it;
- (e) Distances between plant & equipment and receptor location/s and any mitigating features that may attenuate the sound level received at the most affected receptor location;
- (f) Measurements of existing LA90, 15 mins levels recorded one metre outside and in front of the window referred to in (d) above (or a suitable representative position), at times when background noise is at its lowest during hours when the plant and equipment will operate. This acoustic survey to be conducted in conformity to BS 7445 in respect of measurement methodology and procedures;
- (g) The lowest existing LA90, 15 mins measurement recorded under (f) above;
- (h) Measurement evidence and any calculations demonstrating that plant and equipment complies with the planning condition;
- (i) The proposed maximum noise level to be emitted by the plant and equipment.

Reason:

Because existing external ambient noise levels exceed WHO Guideline Levels, and as set out in ENV 6 (1), (6) and (8) and ENV 7 (A)(1) of our Unitary Development Plan that we adopted in January 2007, so that the noise environment of people in noise sensitive properties is protected, including the intrusiveness of tonal and impulsive sounds; and as set out in S32 of Westminster's City Plan: Strategic Policies adopted November 2013, by contributing to reducing excessive ambient noise levels. Part (3) is included so that applicants may ask subsequently for a fixed maximum noise level to be approved in case ambient noise levels reduce at any time after implementation of the planning permission.

- 8 You must apply to us for approval of details of a supplementary acoustic report demonstrating that the plant will comply with the Council's noise criteria as set out in Condition 7 of this permission. You must not start work on this part of the development until we have approved what you have sent us.

Reason:

Because existing external ambient noise levels exceed WHO Guideline Levels, and as set out in ENV 6 (1), (6) and (8) and ENV 7 (A)(1) of our Unitary Development Plan that we adopted in January 2007, so that the noise environment of people in noise sensitive properties is protected, including the intrusiveness of tonal and impulsive sounds; and as set out in S32 of Westminster's City Plan: Strategic Policies adopted November 2013, by contributing to reducing excessive ambient noise levels.

- 9 You must apply to us for approval of detailed drawings, including sections and elevations (scale 1:5 and 1:20) of the following parts of the development:
(i) All new external doors and entrance gate from the rear

You must not start work until we have approved what you have sent us.

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Harley Street Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

- 10 You must apply to us for approval of detailed drawings showing the following alteration(s) to the scheme:

The service riser shall terminate within the rear chimney breast and be finished in brick or another material to be agreed in writing. You must not start on these parts of the work until we have approved what you have sent us. You must then carry out the work according to the approved drawings. (C26UB)

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Harley Street Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

- 11 You must apply to us for approval of details of the facing materials you will use, including glazing, and elevations and roof plans annotated to show where the materials are to be located. You must not start any work on these parts of the development until we have approved what you have sent us. You must then carry out the work using the approved materials. (C26BC)

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Harley Street Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

- 12 You must remove all redundant pipework and plant from the building before you begin the approved use.

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

- 13 You must provide the waste store shown on drawing P111 Rev P02 before anyone moves into the property. You must clearly mark it and make it available at all times to everyone using the residential flats. You must store waste inside the property and only put it outside just before it is going to be collected. You must not use the waste store for any other purpose. (C14DC)

Reason:

To protect the environment and provide suitable storage for waste as set out in S44 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 12 of our Unitary Development Plan that we adopted in January 2007. (R14BD)

- 14 You must paint the rear staircase black and thereafter keep it that colour.

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Harley Street Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

Informative(s):

- 1 In dealing with this application the City Council has implemented the requirement in the National Planning Policy Framework to work with the applicant in a positive and proactive way. We have made available detailed advice in the form of our statutory policies in Westminster's City Plan: Strategic Policies adopted November 2013, Unitary Development Plan, Supplementary Planning documents, planning briefs and other informal written guidance, as well as offering a full pre application advice service, in order to ensure that applicant has been given every opportunity to submit an application which is likely to be considered favourably. In addition, where appropriate, further guidance was offered to the applicant at the validation stage.
- 2 When carrying out building work you must do all you can to reduce noise emission and take suitable steps to prevent nuisance from dust and smoke. Please speak to our Environmental Health Service to make sure that you meet all requirements before you draw up the contracts for demolition and building work.

Your main contractor should also speak to our Environmental Health Service before starting work. They can do this formally by applying to the following address for consent to work on construction sites under Section 61 of the Control of Pollution Act 1974.

24 Hour Noise Team
Environmental Health Service
Westminster City Hall
64 Victoria Street
London
SW1E 6QP

Phone: 020 7641 2000

Our Environmental Health Service may change the hours of working we have set out in this permission if your work is particularly noisy. Deliveries to and from the site should not take place outside the permitted hours unless you have our written approval. (150AA)

- 3 Regulation 12 of the Workplace (Health, Safety and Welfare) Regulations 1992 requires that every floor in a workplace shall be constructed in such a way which makes it suitable for use. Floors which are likely to get wet or to be subject to spillages must be of a type which does not become unduly slippery. A slip-resistant coating must be applied where necessary. You must also ensure that floors have effective means of drainage where necessary. The flooring must be fitted correctly and properly maintained.
- Regulation 6 (4)(a) Schedule 1(d) states that a place of work should possess suitable and sufficient means for preventing a fall. You must therefore ensure the following:
- * Stairs are constructed to help prevent a fall on the staircase; you must consider stair rises and treads as well as any landings;
 - * Stairs have appropriately highlighted grip nosing so as to differentiate each step and provide sufficient grip to help prevent a fall on the staircase;
 - * Any changes of level, such as a step between floors, which are not obvious, are marked to make them conspicuous. The markings must be fitted correctly and properly maintained;
 - * Any staircases are constructed so that they are wide enough in order to provide sufficient handrails, and that these are installed correctly and properly maintained. Additional handrails should be provided down the centre of particularly wide staircases where necessary;
 - * Stairs are suitably and sufficiently lit, and lit in such a way that shadows are not cast over the main part of the treads.

- 4 Every year in the UK, about 70 people are killed and around 4,000 are seriously injured as a result of falling from height. You should carefully consider the following.
- * Window cleaning - where possible, install windows that can be cleaned safely from within the building.
 - * Internal atria - design these spaces so that glazing can be safely cleaned and maintained.
 - * Lighting - ensure luminaires can be safely accessed for replacement.
 - * Roof plant - provide safe access including walkways and roof edge protection where necessary (but these may need further planning permission).
- More guidance can be found on the Health and Safety Executive website at www.hse.gov.uk/falls/index.htm.

Note: Window cleaning cradles and tracking should blend in as much as possible with the appearance of the building when not in use. If you decide to use equipment not shown in your drawings which will affect the appearance of the building, you will need to apply separately for planning permission. (180CB)

- 5 You are advised to permanently mark the plant/ machinery hereby approved with the details of this permission (date of grant, registered number). This will assist in future monitoring of the equipment by the City Council if and when complaints are received.

DRAFT DECISION LETTER

Address: 43 Weymouth Mews, London, W1G 7EH

Proposal: Excavation to lower existing basement floor level, alterations within the rear lightwell to provide a new access stair and full height service riser, insertion of three rooflights in the existing roof, and associated internal and external alterations.

Plan Nos: (00)_P_000/P02; (00)_P_110/P02; (00)_P_111/P02; (00)_P_210/P02;
(00)_P_211/P02; (00)_P_310/P02; (12)_P_100/P02; (12)_P_101/P02;
(12)_P_200/P02; (12)_P_201/P02 (12)_P_300/P02; (40)_P_100/P02;
(40)_P_101/P02; (40)_P_102/P02.

Case Officer: Billy Pattison

Direct Tel. No. 020 7641 3267

Recommended Condition(s) and Reason(s):

- 1 The development hereby permitted shall be carried out in accordance with the drawings and other documents listed on this decision letter, and any drawings approved subsequently by the City Council as local planning authority pursuant to any conditions on this decision letter.

Reason:

For the avoidance of doubt and in the interests of proper planning.

- 2 The new joinery work must exactly match the existing original work unless differences are shown on the drawings we have approved. (C27EA)

Reason:

To protect the special architectural or historic interest of this listed building. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1, DES 10 (A) and paras 10.129 to 10.146 of our Unitary Development Plan that we adopted in January 2007. (R26ED)

- 3 All new work and improvements inside and outside the building must match existing original adjacent work in terms of the choice of materials, method of construction and finished appearance. This applies unless differences are shown on the approved drawings or are required in conditions to this permission. (C27AA)

Reason:

To protect the special architectural or historic interest of this listed building. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1, DES 10 (A) and paras 10.129 to 10.146 of our Unitary Development Plan that we adopted in January 2007. (R26ED)

- 4 You must not disturb existing ornamental features including chimney pieces, plasterwork, architraves, panelling, doors and staircase balustrades. You must leave them in their present position unless changes are shown on the approved drawings or are required by conditions to this permission. You must protect those features properly during work on site. (C27KA)

Reason:

To protect the special architectural or historic interest of this listed building. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1, DES 10 (A) and paras 10.129 to 10.146 of our Unitary Development Plan that we adopted in January 2007. (R26ED)

- 5 You must scribe all new partitions around the existing ornamental plaster mouldings. (C27JA)

Reason:

To protect the special architectural or historic interest of this listed building. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1, DES 10 (A) and paras 10.129 to 10.146 of our Unitary Development Plan that we adopted in January 2007. (R26ED)

- 6 All new outside rainwater and soil pipes must be made out of metal and painted black. (C27HA)

Reason:

To protect the special architectural or historic interest of this listed building. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1, DES 10 (A) and paras 10.129 to 10.146 of our Unitary Development Plan that we adopted in January 2007. (R26ED)

- 7 You must apply to us for approval of detailed drawings, including sections and elevations (scale 1:5 and 1:20) of the following parts of the development:

- (i) All new external doors and entrance gate from the rear
- (ii) New temporary partitions to seal stairs
- (iii) New section of bar at ground floor level
- (iv) All new internal joinery including doors and skirtings

You must not start work until we have approved what you have sent us.

Reason:

To protect the special architectural or historic interest of this listed building. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1, DES 10 (A) and paras 10.129 to 10.146 of our Unitary Development Plan that we adopted in January 2007. (R26ED)

- 8 You must apply to us for approval of detailed drawings showing the following alteration(s) to the scheme: the service riser shall terminate within the rear chimney breast and be finished in brick or another material to be agreed in writing;

You must not start on these parts of the work until we have approved what you have sent us.

You must then carry out the work according to the approved drawings. (C26UB)

Reason:

To protect the special architectural or historic interest of this listed building. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1, DES 10 (A) and paras 10.129 to 10.146 of our Unitary Development Plan that we adopted in January 2007. (R26ED)

- 9 You must not disturb the existing original vaults unless changes are shown on the approved drawings.

Reason:

To protect the special architectural or historic interest of this listed building. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1, DES 10 (A) and paras 10.129 to 10.146 of our Unitary Development Plan that we adopted in January 2007. (R26ED)

- 10 You must apply to us for approval of details of the facing materials you will use, including

glazing, and elevations and roof plans annotated to show where the materials are to be located. You must not start any work on these parts of the development until we have approved what you have sent us. You must then carry out the work using the approved materials. (C26BC)

Reason:

To protect the special architectural or historic interest of this listed building. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1, DES 10 (A) and paras 10.129 to 10.146 of our Unitary Development Plan that we adopted in January 2007. (R26ED)

- 11 You must remove all redundant pipework and plant from the building before you begin the approved use.

Reason:

To protect the special architectural or historic interest of this listed building. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1, DES 10 (A) and paras 10.129 to 10.146 of our Unitary Development Plan that we adopted in January 2007. (R26ED)

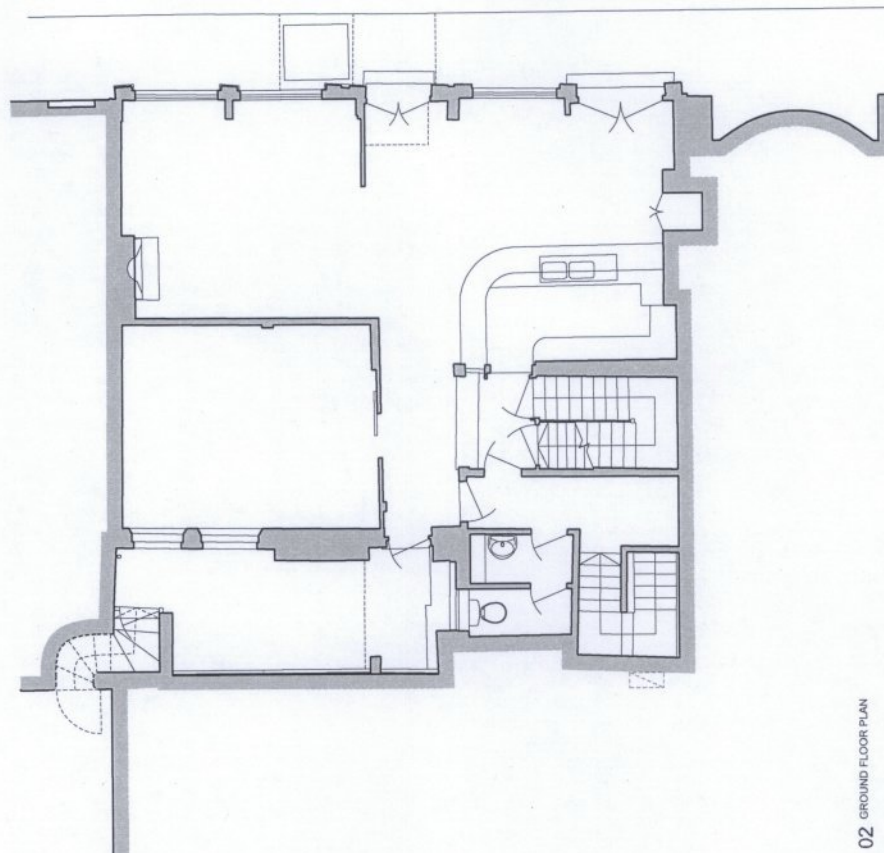
Informative(s):

- 1 **SUMMARY OF REASONS FOR GRANTING CONDITIONAL LISTED BUILDING CONSENT -**
In reaching the decision to grant listed building consent with conditions, the City Council has had regard to the relevant policies in the National Planning Policy Framework March 2012, the London Plan July 2011, Westminster's City Plan: Strategic Policies adopted November 2013, and the City of Westminster Unitary Development Plan adopted January 2007, as well as relevant supplementary planning guidance, representations received and all other material considerations.

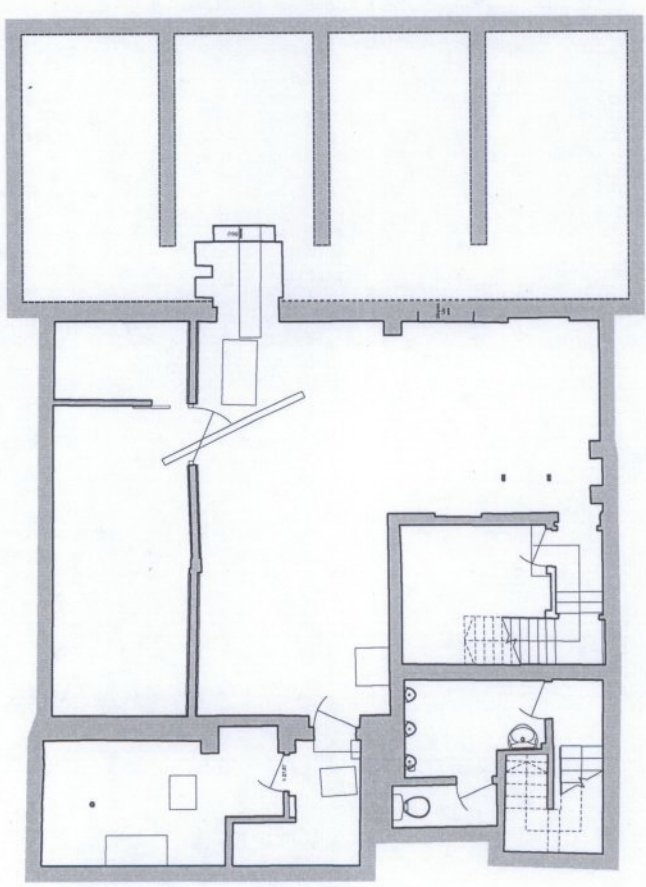
The City Council decided that the proposed works would not harm the character of this building of special architectural or historic interest.

In reaching this decision the following were of particular relevance:

S25 and S28 of Westminster's City Plan: Strategic Policies and DES 10 including paras 10.130 to 10.146 of the Unitary Development Plan, and paragraph 2.3 and 2.4 of our Supplementary Planning Guidance: Repairs and Alterations to Listed Buildings.



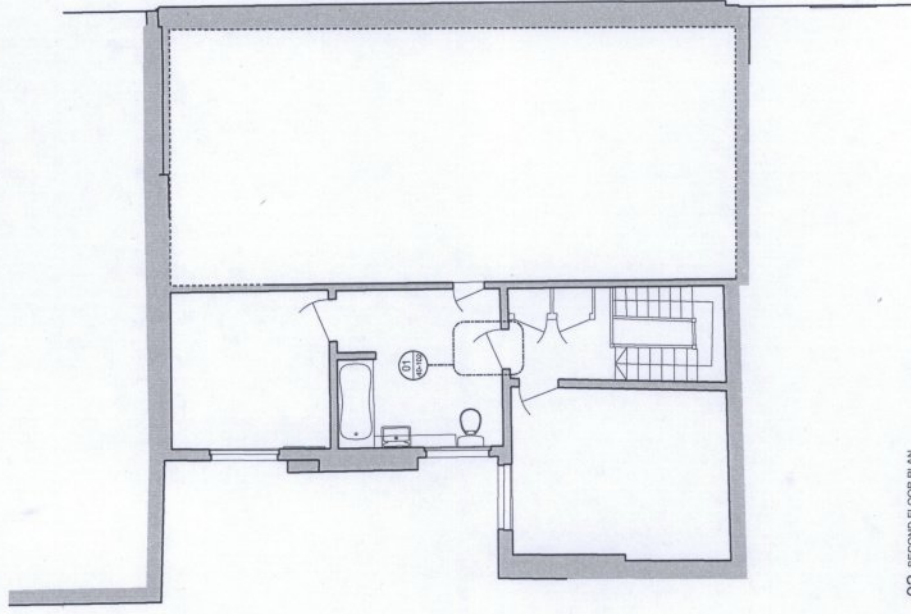
02 GROUND FLOOR PLAN



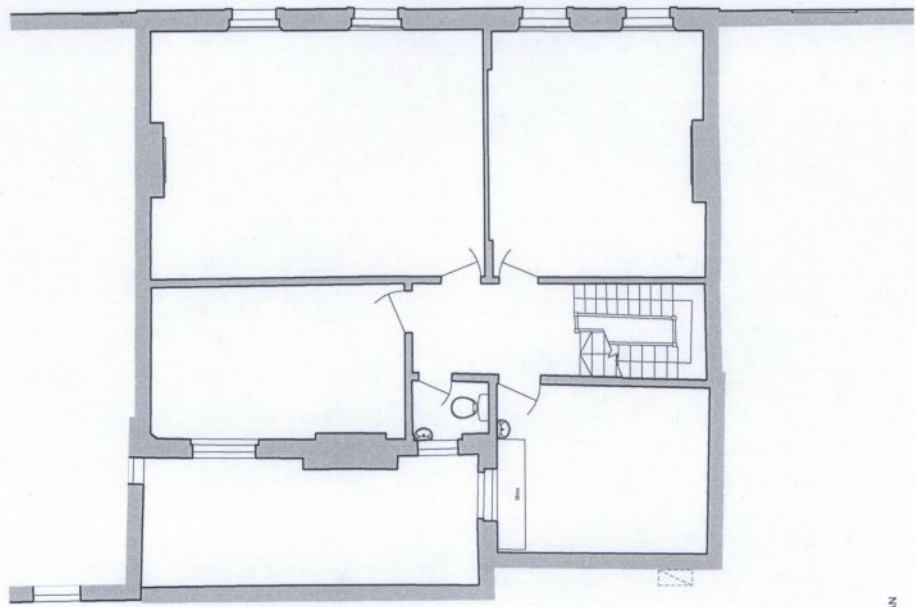
01 BASEMENT PLAN



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	<p>LOCATION: HARLEY STREET</p>			
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<p>JOB TITLE 43 WEYMOUTH MEWS THE DOVER CASTLE</p>		<p>CLIENT HOWARD de WALDEN MANAGEMENT LIMITED</p>		
<p>DRAWING TITLE BASEMENT AND GROUND EXISTING PLANS</p>		<p>DRAWING STATUS PLANNING</p>		
<p>project 1512 (00) P 100</p>		<p>date 10/02/15</p>		<p>revision P02</p>
<p>drawn by JIM</p>		<p>checked by JIM</p>		<p>scale 1:50 @ A1: 1:100 @ A3</p>
<p>drawing number (00) P 100</p>		<p>project number 1512</p>		



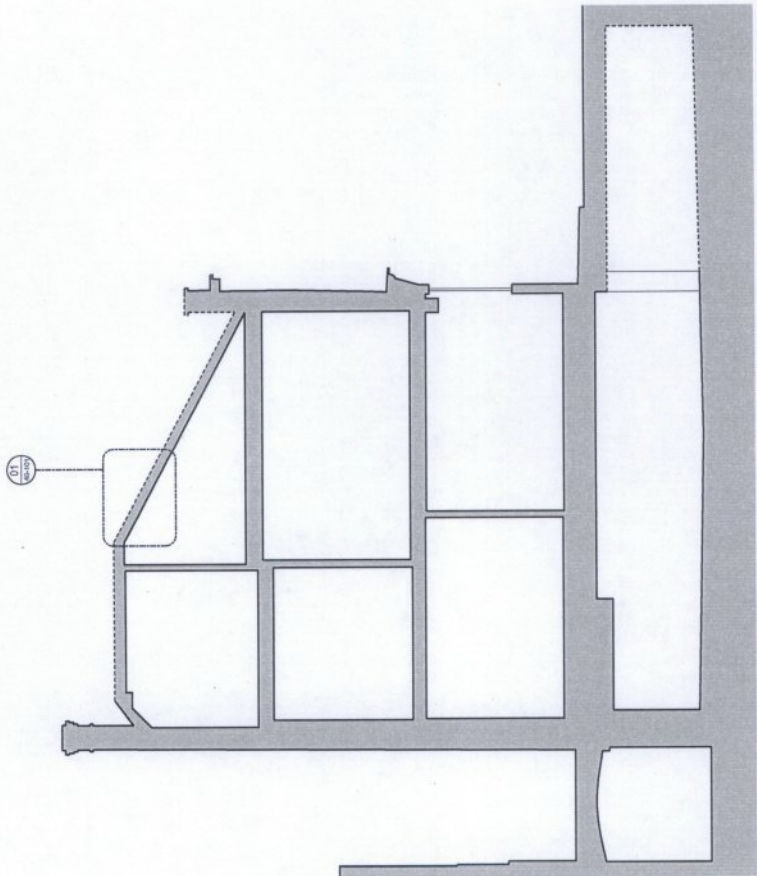
02 SECOND FLOOR PLAN



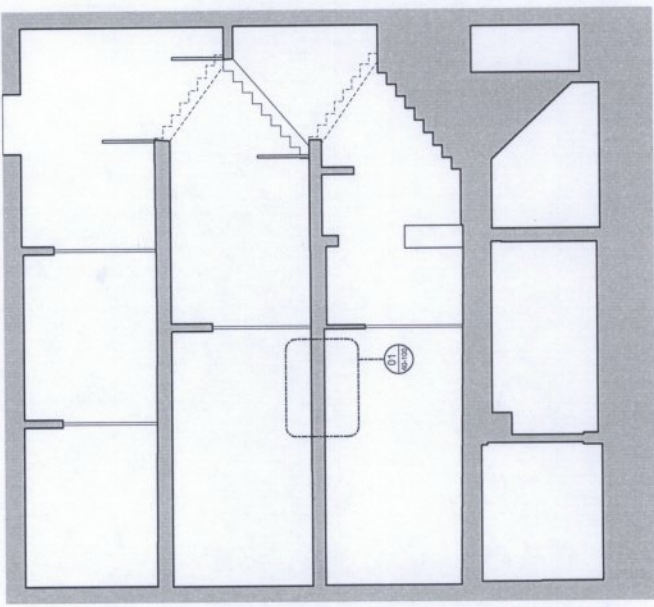
01 FIRST FLOOR PLAN



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	<p>LOCATION: HARLEY STREET</p>		
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<p>JOB TITLE 43 WEYMOUTH MEWS THE DOVER CASTLE</p>		<p>CLIENT HOWARD de WALDEN MANAGEMENT LIMITED</p>	
<p>DRAWING TITLE FIRST AND SECOND EXISTING PLANS</p>		<p>DRAWING STATUS PLANNING</p>	
<p>drawn by: JIM</p>		<p>checked: JIM</p>	
<p>scale 1:50@A1: 1:100@A3</p>		<p>date 10/02/15</p>	
<p>project 1512</p>		<p>drawing number 1512 (00)_P_101</p>	
<p>revision</p>		<p>P02</p>	



01 EXISTING SECTION AA



02 EXISTING SECTION BB

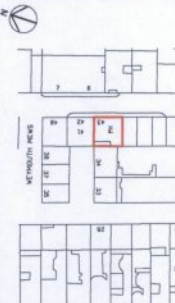


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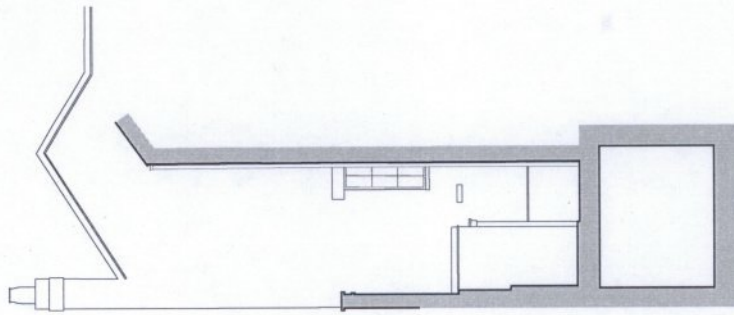
Rev	Date	Reason for Issue	CHK
P01	27/03/15	Issue for Planning	JM
P02	17/07/15	Issue for Planning	JM

LOCATION:
HARLEY STREET

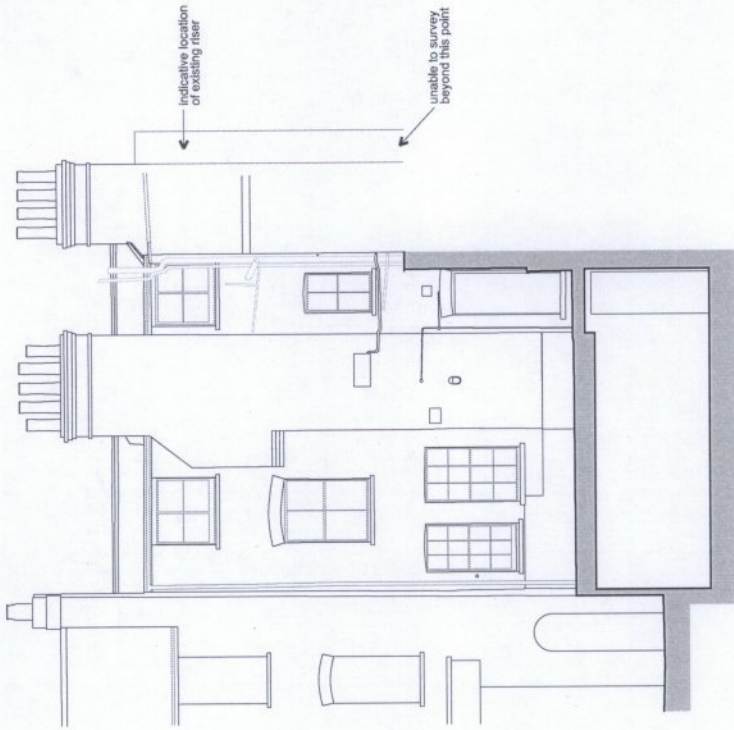


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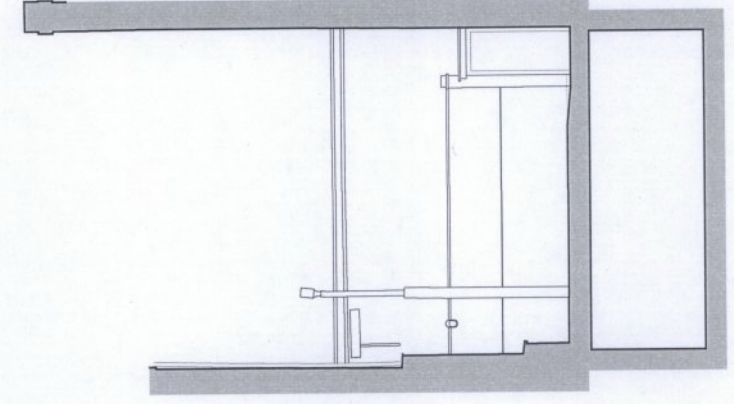
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CLIENT	HOWARD DE WALDEN MANAGEMENT LIMITED	DRAWING STATUS	PLANNING
design by	TP	checked	JM
scale	1:50@A1: 1:100@A3	date	10/02/15
project	1512	drawing number	(00) P_300
revision			P02



01 LIGHTWELL NORTH ELEVATION



02 LIGHTWELL EAST ELEVATION



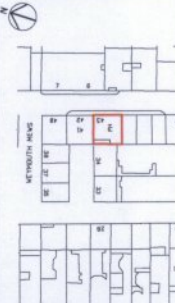
03 LIGHTWELL WEST ELEVATION



General Notes

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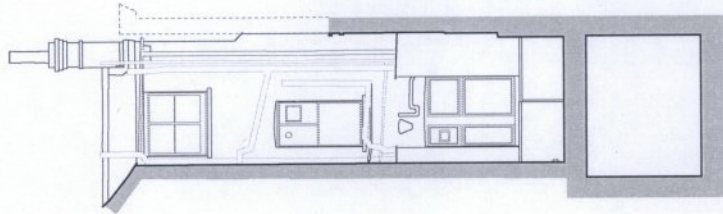
Rev	Date	Reason For Issue	DAK
P01	27/03/15	Issue for Planning	JM
P02	17/07/15	Issue for Planning	JM



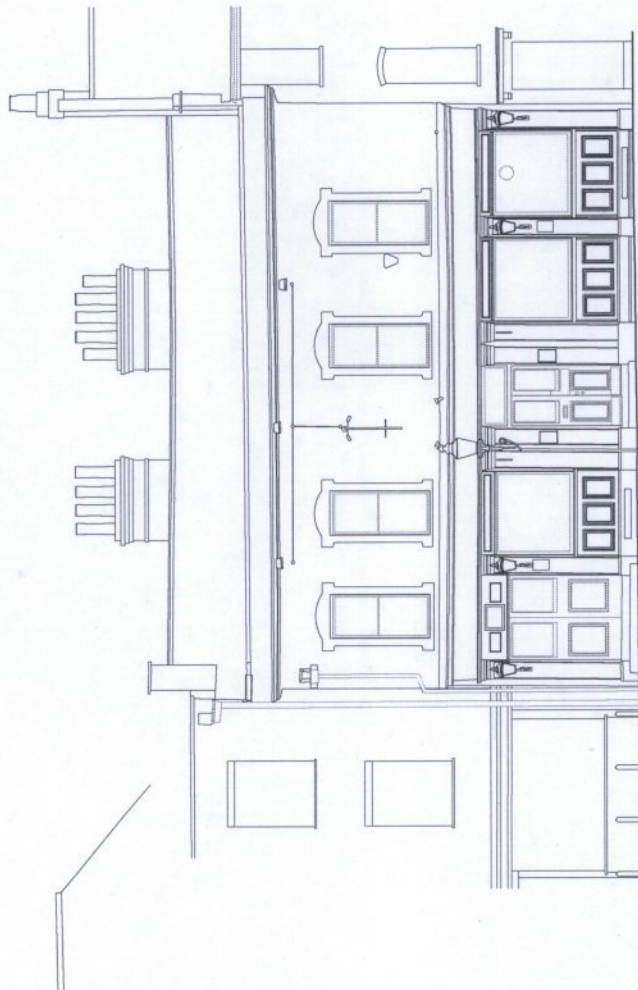
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JOB TITLE	43 WEYMOUTH MEWS THE DOVER CASTLE
CLIENT	HOWARD de WALDEN MANAGEMENT LIMITED
design by	TP
checked	JJM
scale	1:50@A1: 1:100@A3
date	24/02/15

DRAWING TITLE	EXISTING ELEVATIONS
DRAWING STATUS	PLANNING
project	1512
drawing number	(00) P_201
revision	P02

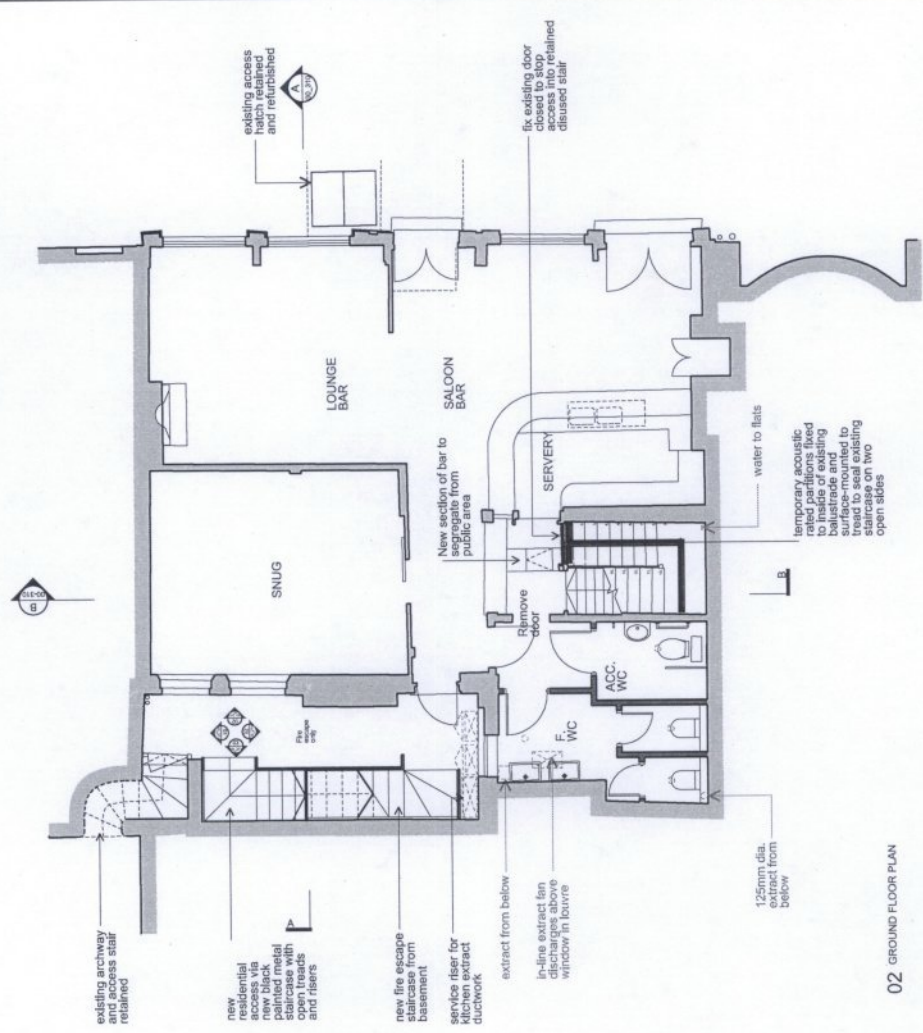
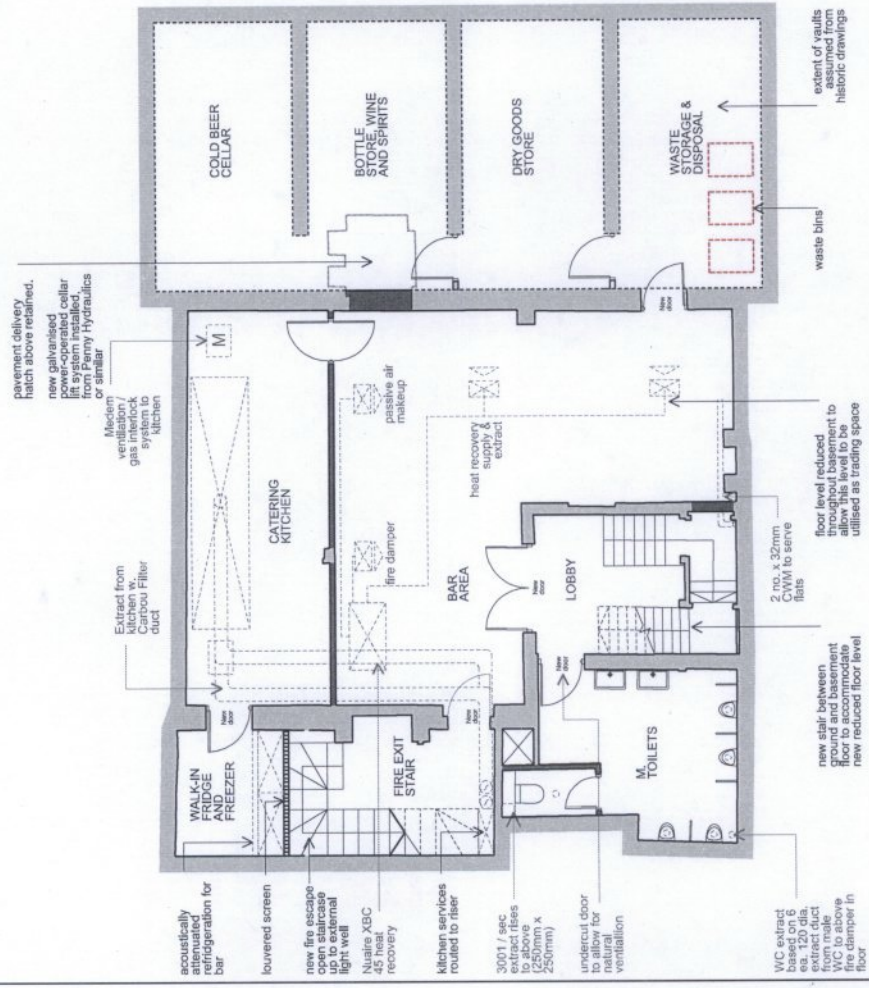


02 LIGHTWELL SOUTH ELEVATION



01 FRONT ELEVATION

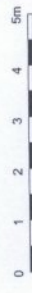
<p>General Notes</p> <ol style="list-style-type: none"> Do not scale from this drawing. Refer to scaled dimensions. Check all dimensions, levels, and annotations before proceeding, and such dimensions to be his responsibility. Report all drawing errors, omissions and discrepancies to Morrow + Lorraine Ltd. Morrow + Lorraine Ltd. drawings are approximate and to be treated as such. Any Ordnance Survey mapping data in this drawing is used for reference only. It is not to be used for any other purpose without the permission of the Ordnance Survey. All Ordnance Survey data is copyright © Crown Copyright and is published under the Ordnance Survey Licence. All other data is the property of its respective owner. All rights reserved. 	<p>Rev: _____ Date: _____</p> <p>Issue for Planning: 27/03/15 Issue for Planning: 11/07/15</p>	<p>CRK JL</p>	
	<p>LOCATION: HARLEY STREET</p> <p>NETWORK: MEASUREMENTS</p>	<p>MORROW + LORRAINE MORROW + LORRAINE ARCHITECTS 27 MARGARET STREET LONDON W1W 8RY T +44 (0)20 7560 8893 F +44 (0)20 747 7318 WWW.MORROWLORRAINE.COM MORROW + LORRAINE LTD. REGISTERED IN ENGLAND NO. 04242181</p>	<p>JOB TITLE 43 WEYMOUTH MEWS THE DOVER CASTLE</p> <p>CLIENT HOWARD DE WALDEN MANAGEMENT LIMITED</p> <p>drawn by: TP checked by: JM scale: 1:50@A1; 1:100@A3 date: 29/02/15</p>



02 GROUND FLOOR PLAN

01 BASEMENT PLAN

NOTE: Heating by radiators generally



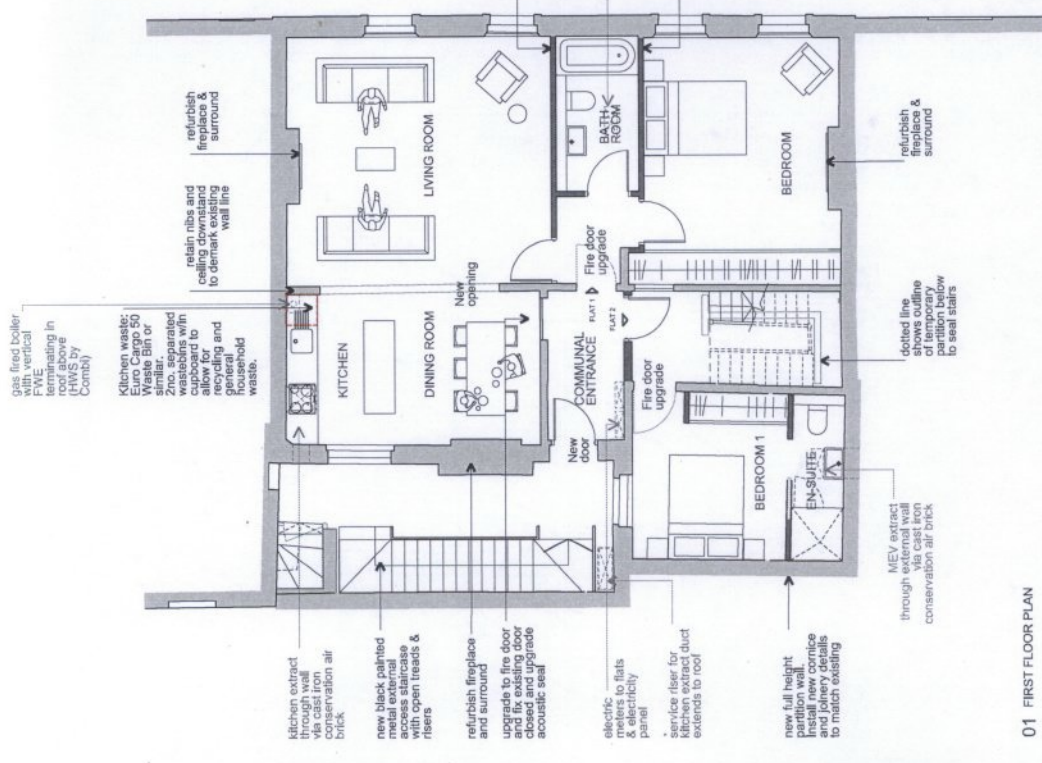
Rev	Date	Reason For Issue	CA
P01	27/02/15	Issue for Planning	JM
P02	17/07/15	Issue for Planning	JM

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<p>PROPOSALS KEY:</p> <ul style="list-style-type: none"> EXISTING FABRIC PROPOSED FABRIC 	
<p>LOCATION:</p> <p>Weymouth Mews</p> <p>Harley Street</p>	
<p>JOB TITLE</p> <p>43 WEYMOUTH MEWS THE DOVER CASTLE</p>	
<p>CLIENT</p> <p>HOWARD de WALDEN MANAGEMENT LIMITED</p>	
<p>DRAWING TITLE</p> <p>BASEMENT AND GROUND PROPOSED PLANS</p>	
<p>DRAWING STATUS</p> <p>PLANNING</p>	
<p>drawn by</p> <p>TP</p>	<p>checked by</p> <p>JM</p>
<p>scale</p> <p>1:50@A1; 1:100@A3</p>	<p>date</p> <p>10/02/15</p>
<p>project</p> <p>1512 (00)_P_110</p>	<p>drawing number</p> <p>1512 (00)_P_110</p>
<p>revision</p> <p>P02</p>	<p>revision</p> <p>P02</p>

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gas fired boiler with vertical flue terminating in roof above (HWS by Combi)

Kitchen waste: Euro Cargo 50 Waste Bin or similar. 2no. separated wastebins with cupboards to allow for recycling and household waste.



01 FIRST FLOOR PLAN

FLAT 1: FIRST FLOOR 66.6m² (717ft²)

FLAT 2: FIRST FLOOR 21.2m² (226ft²)

SECOND FLOOR 42.0m² (452ft²)

TOTAL 63.2m² (680ft²)

retain ribs and ceiling downwards to demarcate wall line

MEV extract to above

new wall positioned away from existing window architraves

MEV extract to above

new wall positioned away from existing window architraves

refurbish fireplace and surround

refurbish fireplace and surround

refurbish fireplace and surround

refurbish fireplace and surround

refurbish fireplace and surround

new wall aligned with existing roof structure

flue from below through roof

access doors to roof space below roof

new conservation rooflight

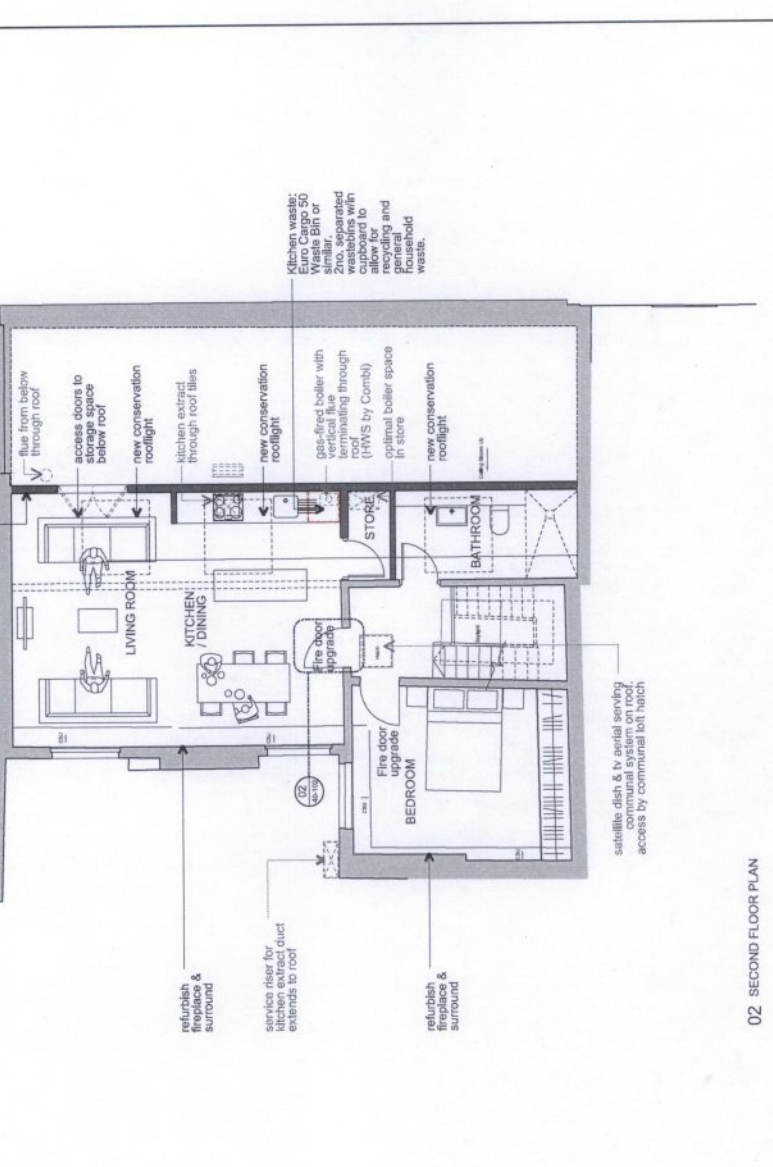
kitchen extract through roof tiles

new conservation rooflight

gas-fired boiler with flue terminating through roof (HWS by Combi) optimal boiler space in store

new conservation rooflight

satellite dish & tv aerial serving communal system on roof. access by communal loft hatch



02 SECOND FLOOR PLAN

Rev: Date Reason For Issue

P01: 27/02/15 Issue for Planning

P02: 17/07/15 Issue for Planning

CA: JM

JM: JM

General Notes

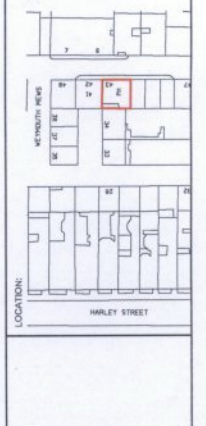
- Do not scale from this drawing. Refer to stated dimensions.
- Work to be done shall be in accordance with the current Building Regulations, and shall be the responsibility of the contractor. The architect shall be responsible for the design and shall be responsible for the design and shall be responsible for the design.
- Report all drawing errors, omissions and discrepancies to the architect immediately. The architect shall be responsible for the design and shall be responsible for the design.
- Use of this drawing shall be restricted to the project and shall not be used for any other purpose without the written consent of the architect.
- Any Ordnance Survey mapping data in this drawing is used under license. Its use is strictly for the preparation of information and shall not be used for any other purpose without the written consent of the architect.

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PROPOSALS KEY:

EXISTING FABRIC

PROPOSED FABRIC



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JOB TITLE
 43 WEYMOUTH MEWS
 THE DOVER CASTLE

CLIENT
 HOWARD de WALDEN
 MANAGEMENT LIMITED

DESIGNED BY JIM

CHECKED BY JIM

DATE 25/02/15

PROJECT 1512 (00)_P_111

DRAWING NUMBER 1512 (00)_P_111

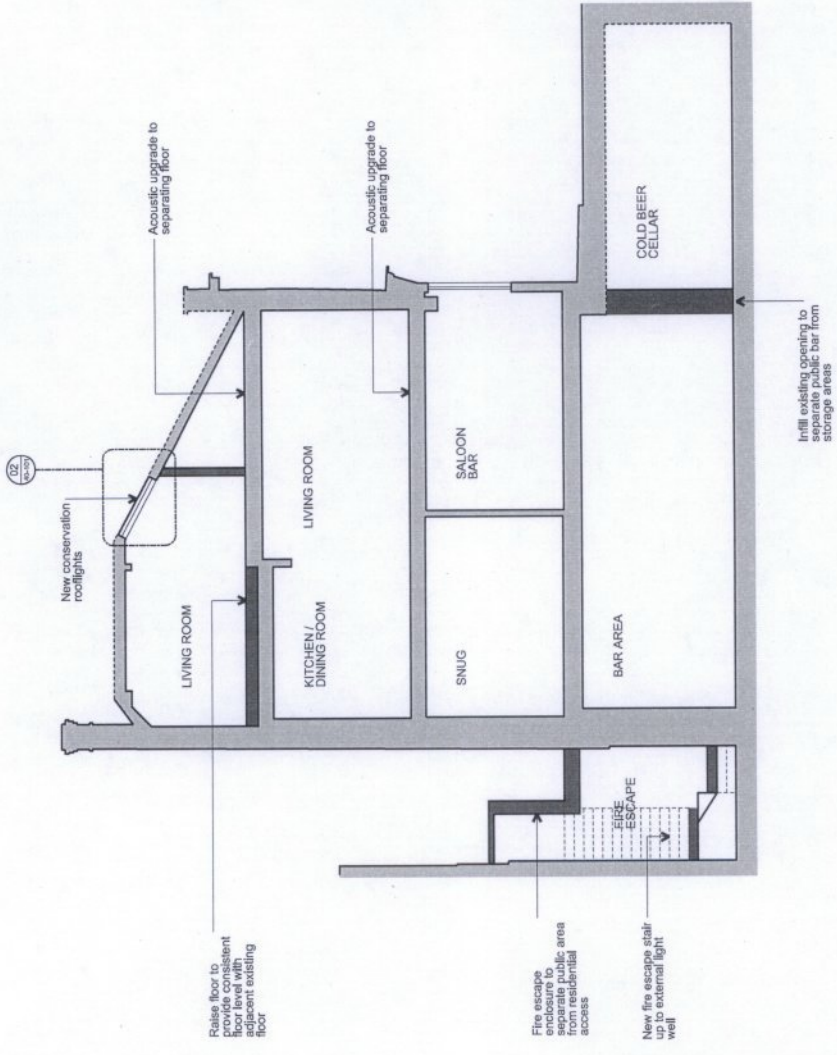
REVISION P02

DRAWING TITLE
 FIRST AND SECOND
 PROPOSED PLANS

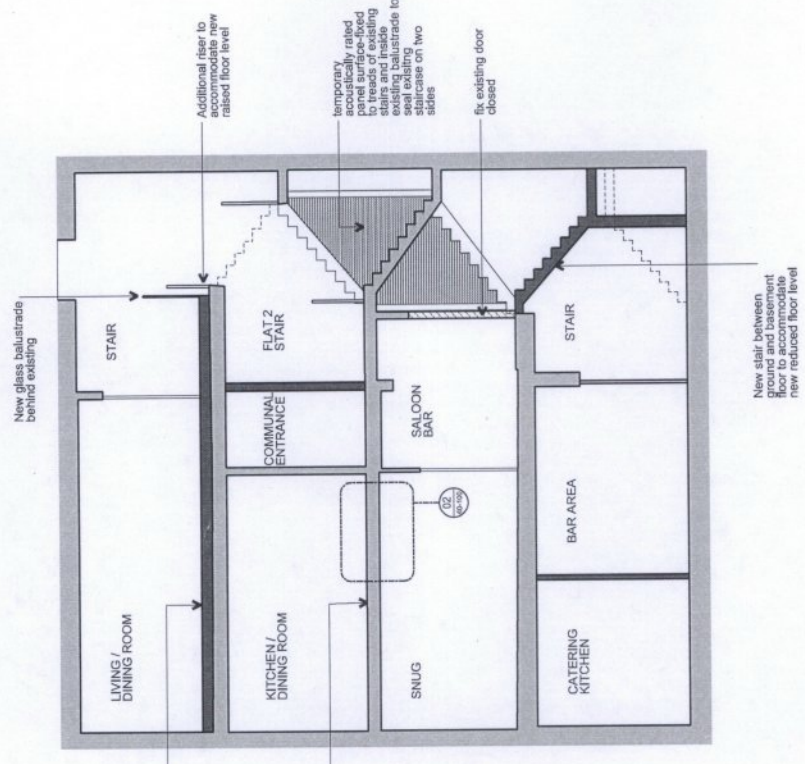
DRAWING STATUS
 PLANNING

NOTE:
 Heating by radiators generally





01 SECTION AA



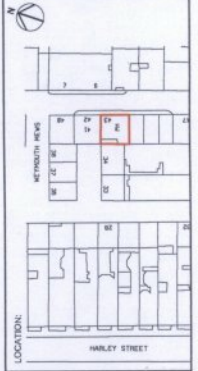
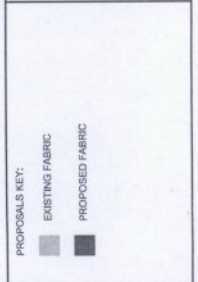
02 SECTION BB



General Notes

- Do not scale from this drawing. Refer to stated dimensions.
- Check all dimensions and levels against the approved planning application and such discrepancies to be the responsibility of the client.
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Rev	Date	Reason for Issue	DNK
P01	27/03/15	Issue for Planning	JM
P02	17/07/15	Issue for Planning	JM

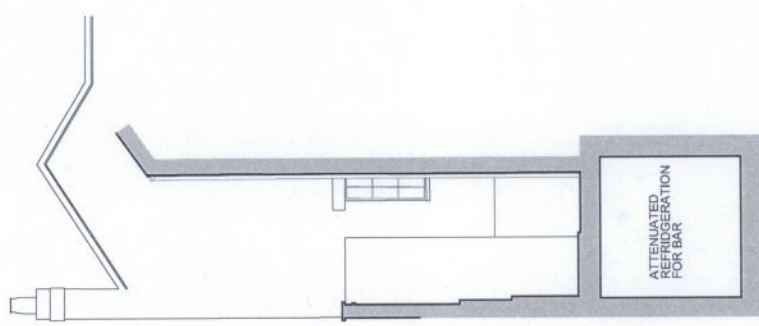


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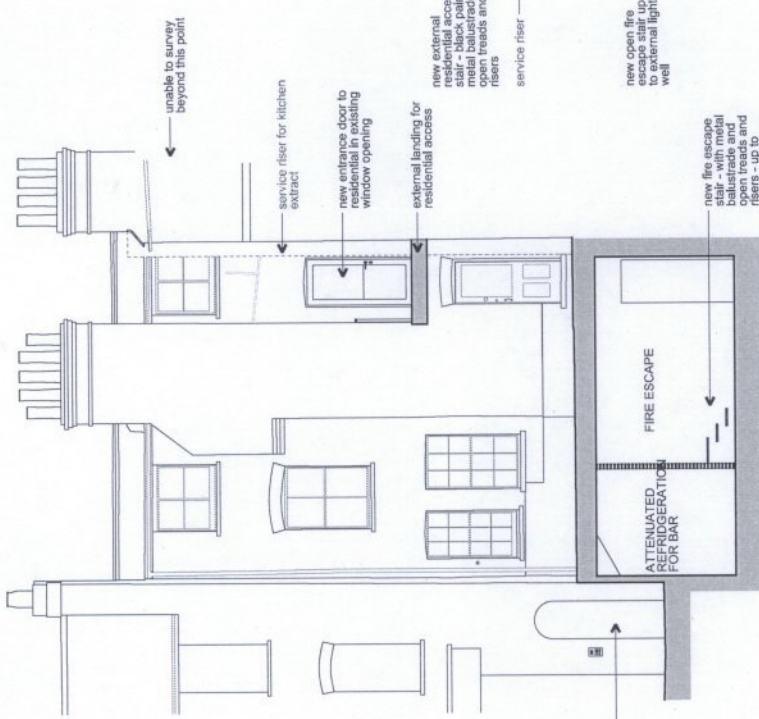
JOB TITLE	43 WEYMOUTH MEWS THE DOVER CASTLE
CLIENT	HOWARD de WALDEN MANAGEMENT LIMITED
designed by	JM
checked	JM
scale	1:50@A1; 1:100@A3
date	10/02/15

DRAWING TITLE	SECTIONS PROPOSED
DRAWING STATUS	PLANNING
project	1512
drawing number	(00)_P_310
revision	P02

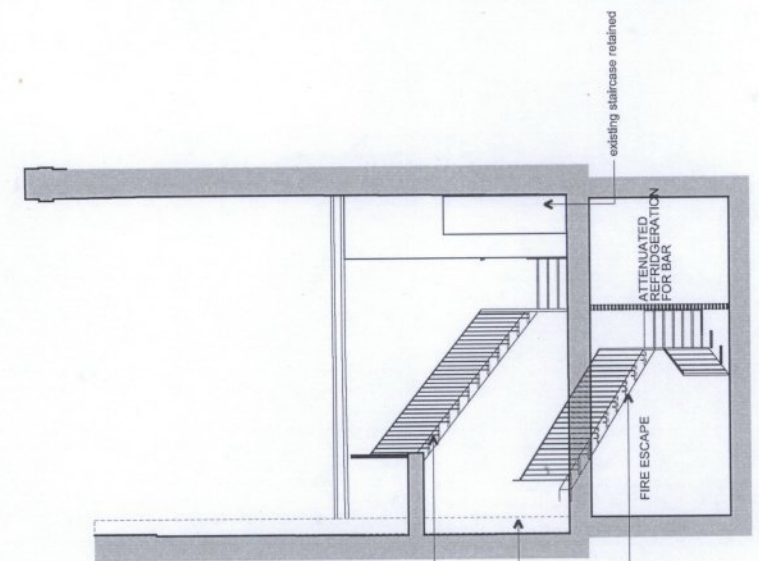
NOTE - ALL WINDOWS
are to be replaced and refinished with
new draft and acoustic seals



01 LIGHTWELL NORTH ELEVATION



02 LIGHTWELL EAST ELEVATION



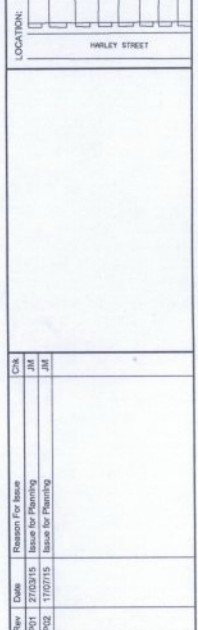
03 LIGHTWELL WEST ELEVATION



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Rev	Date	Reason For Issue	CA
P01	27/03/15	Issue for Planning	JJM
P02	17/07/15	Issue for Planning	JJM



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CLIENT
HOWARD de WALDEN MANAGEMENT LIMITED

JOB TITLE
43 WEYMOUTH MEWS THE DOVER CASTLE

DESIGN BY
TP

CHECKED BY
JIM

SCALE
1:50@A1; 1:100@A3

DATE
24/02/15

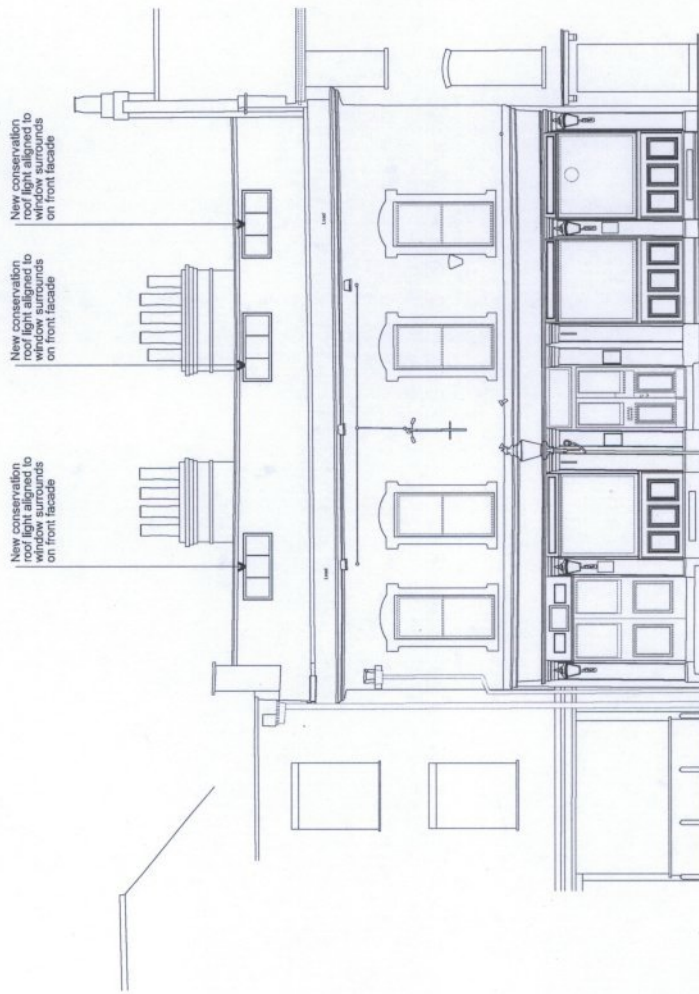
PROJECT
1512

DRAWING STATUS
PLANNING

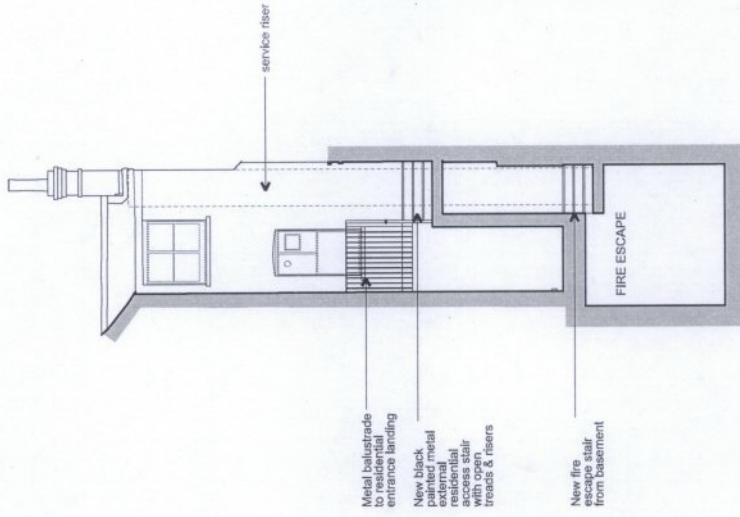
DRAWING TITLE
PROPOSED ELEVATIONS

revision	drawing number	project
P02	(00) P 211	1512

NOTE - ALL WINDOWS
Existing windows carefully repaired and refurbished with new draft and acoustic seals



01 FRONT ELEVATION

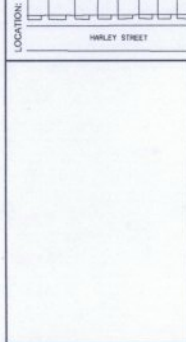


02 LIGHTWELL SOUTH ELEVATION



Client Name	Issue	Date	Reason For Issue	CHK
	PK1	27/03/15	Issue for Planning	JM
	PK2	11/07/15	Issue for Planning	JM

Revision	Date	Reason For Issue	CHK



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JOB TITLE	43 WEYMOUTH MEWS THE DOVER CASTLE
CLIENT	HOWARD de WALDEN MANAGEMENT LIMITED
DATE	24/02/15
SCALE	1:500@A1; 1:100@A3
DRAWN BY	TP
CHECKED BY	JM

DRAWING TITLE	PROPOSED ELEVATIONS
DRAWING STATUS	PLANNING
PROJECT	1512
DRAWING NUMBER	(00)_P_210
REVISION	P02

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